



# Your Inspection Report

123 Example Dr  
Ottawa, ON A1B 2C3



**PREPARED FOR:**  
JANE DOE

**INSPECTION DATE:**  
Monday, January 1, 2024

**PREPARED BY:**  
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Let's get to know your home, together.

# ROOFING

123 Example Dr, Ottawa, ON January 1, 2024

Report No. 1002, v.5

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## Description

**Roofing material:** • Asphalt shingles

**Flashing material:** • Metal

**Probability of leakage:** • Medium

**Typical life expectancy:** • 20-25 years

**Roof Shape:** • Gable

## Observations and Recommendations

### SLOPED ROOFING \ Asphalt shingles

1. **Condition:** • Aging

2. **Condition:** • Old, worn out

**Implication(s):** Chance of water damage to structure, finishes and contents

3. **Condition:** • Granule loss

**Implication(s):** Chance of water damage to structure, finishes and contents

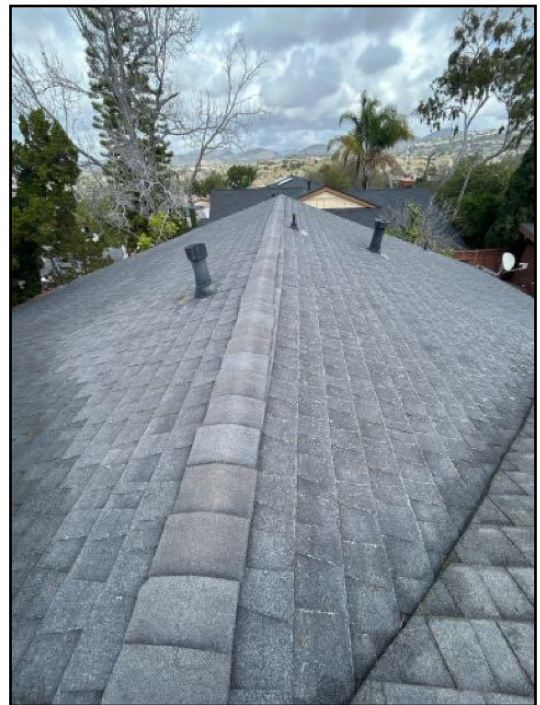
**Location:** Various

**Task:** Replace

**Time:** Less than 1 year



1. Granule loss



2. Granule loss

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3. Granule loss

**4. Condition:** • Slope too low

Replace the shingles with rolled roofing due to ponding and ice damming potential with the low slope. Asphalt shingles should be installed with 4/12 slopes or higher.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Rear First Floor Sunroom

**Task:** Replace

**Time:** As soon as possible



4. Slope too low

**5. Condition:** • Debris/moss

When new roof is laid inspect and maintain the area quarterly to prolong the life of the shingles.

**Implication(s):** Shortened life expectancy of material

**Location:** Front



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**Task:** Clean

**Time:** As soon as possible



5. Debris/moss



6. Debris/moss

## **SLOPED ROOF FLASHINGS \ Roof/sidewall flashings**

**6. Condition:** • Kickout flashing - missing

To small not doing enough to divert water away from wall. Signs of water spilling onto stucco below

**Implication(s):** Chance of water damage to structure, finishes and contents

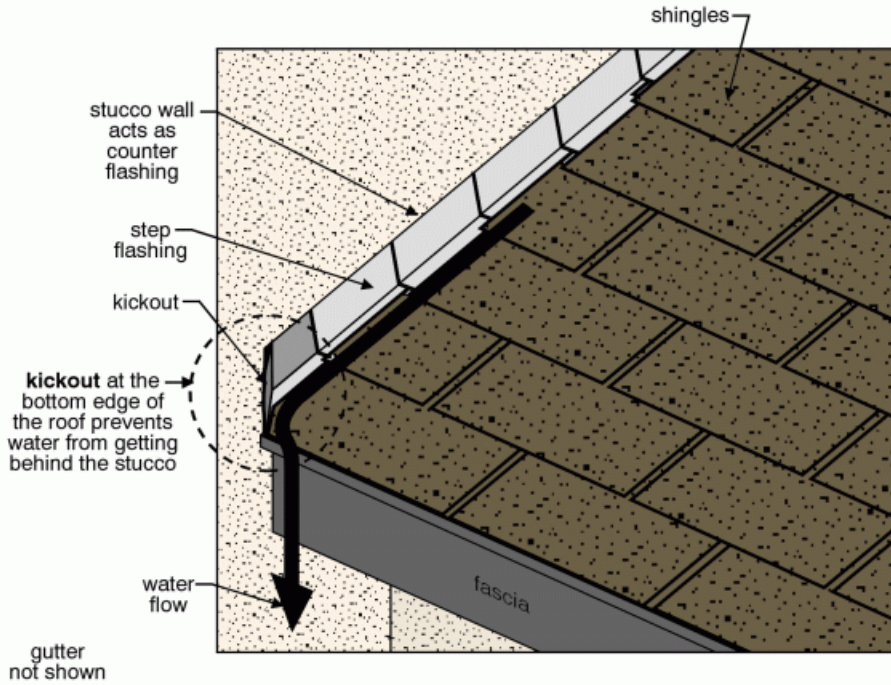
**Location:** South First Floor Living Room

**Task:** Replace

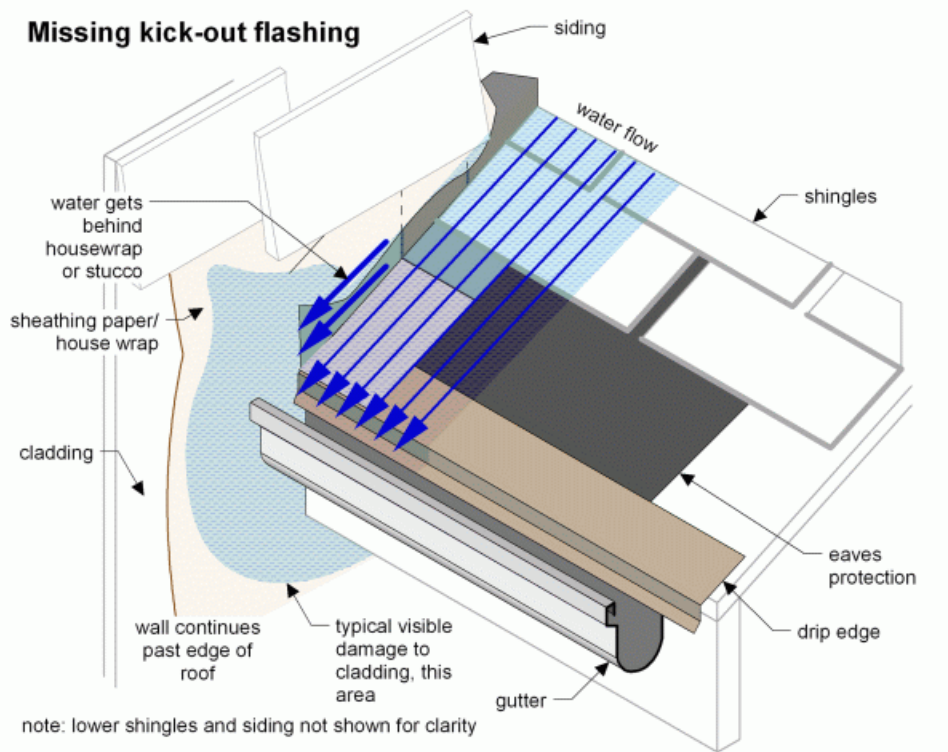
**Time:** Less than 1 year

**Cost:** Minor

## Kickout prevents siding/wall damage

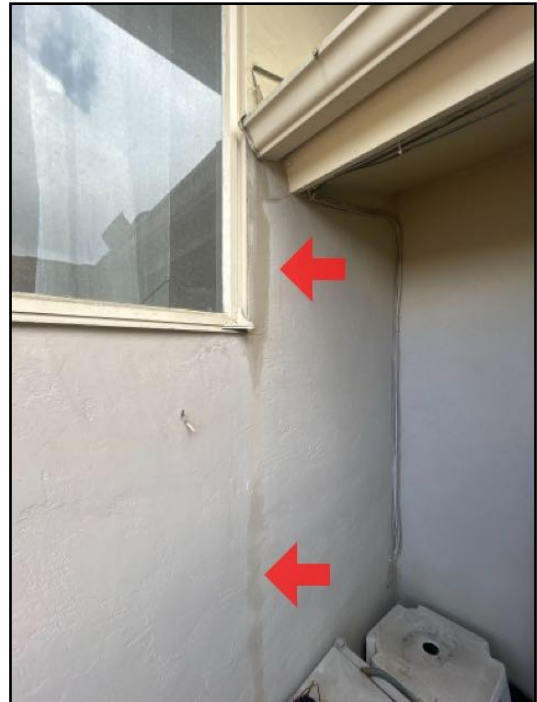


## Missing kick-out flashing





7. Kickout flashing - missing



8. Signs of water damage

### SLOPED ROOF FLASHINGS \ Pipe/stack flashings

7. **Condition:** • Damage

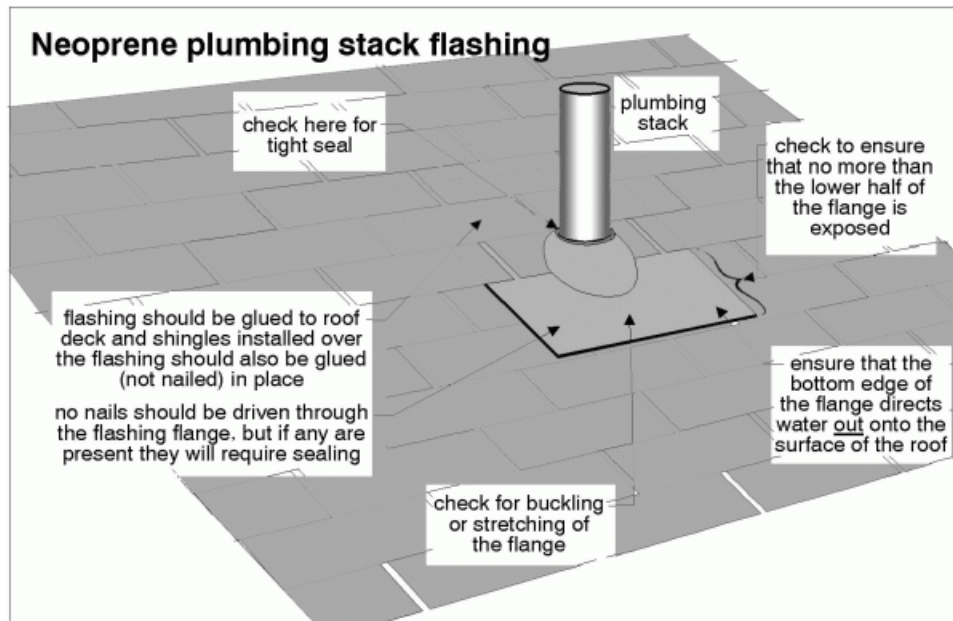
Replace all plumbing stack and gas vent roofing flashing when re-roofing as they are worn out.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Southeast First Floor Kitchen

**Task:** Replace

**Time:** As soon as possible





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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
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9. caulking has deteriorated



10. caulking has deteriorated



11. caulking has deteriorated

## Inspection Methods and Limitations

### Inspection limited/prevented by:

- Solar panels covering roof
- On west side of the home



12. Solar panels covering roof

**Inspection performed:** • By walking on roof • By walking on roof



# EXTERIOR

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## Description

**Gutter & downspout material:** • Aluminum

**Gutter & downspout type:** • Eave mounted

**Gutter & downspout discharge:** • Below grade

**Lot slope:** • Towards building • Flat • Hillside

**Soffit (underside of eaves) and fascia (front edge of eaves):** • Wood • Stucco

**Wall surfaces and trim:** • Stucco • Hardboard

**Retaining wall:** • Concrete

**Driveway:** • Asphalt

**Walkway:** • Concrete

**Exterior steps:** • Concrete

**Fence:** • Wood

**Fence:** • Glass panels at rear

**Garage:** • Attached

**Garage vehicle doors:** • Present

**Garage vehicle door operator (opener):** • Present

**Irrigation/Lawn sprinklers:** • High flow

## Observations and Recommendations

### ROOF DRAINAGE \ Gutters

**8. Condition:** • Improper slope, ponding

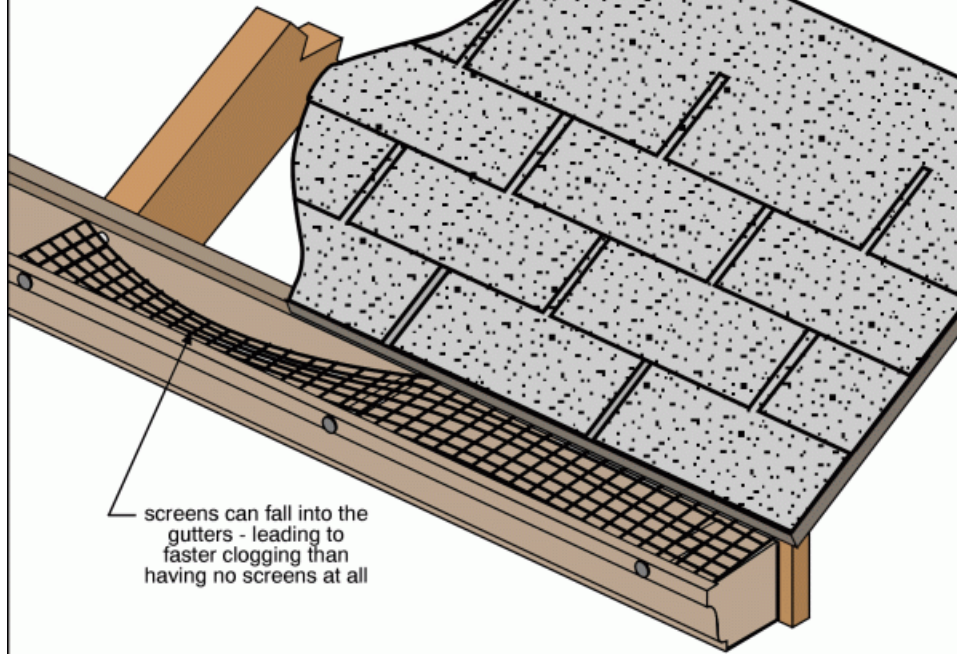
Recommend replacing all gutters. Recommend using screen on gutters where lots of tree debris accumulates. Monitor the Yankee gutter at bottom corner of backyard roof.

**Implication(s):** Chance of water damage to structure, finishes and contents

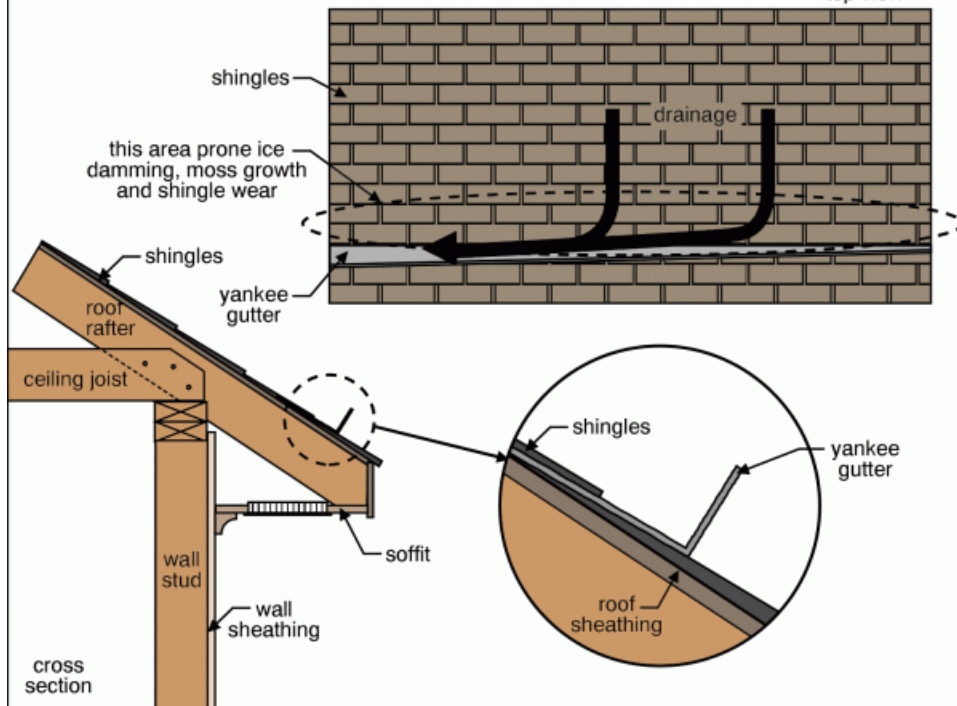
**Location:** Multiple locations

**Time:** As soon as practical

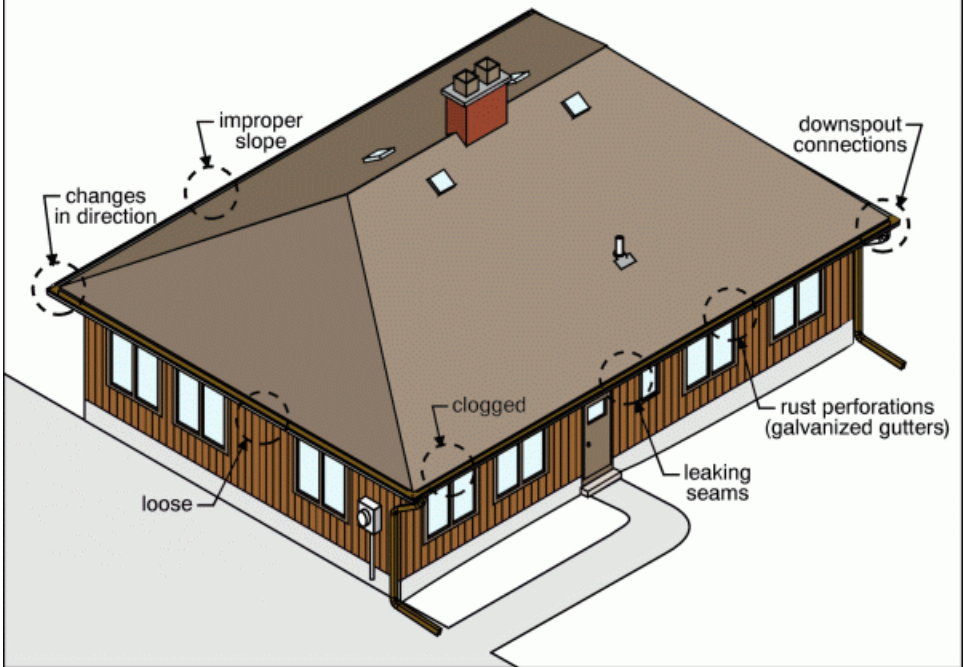
## Screens on gutters



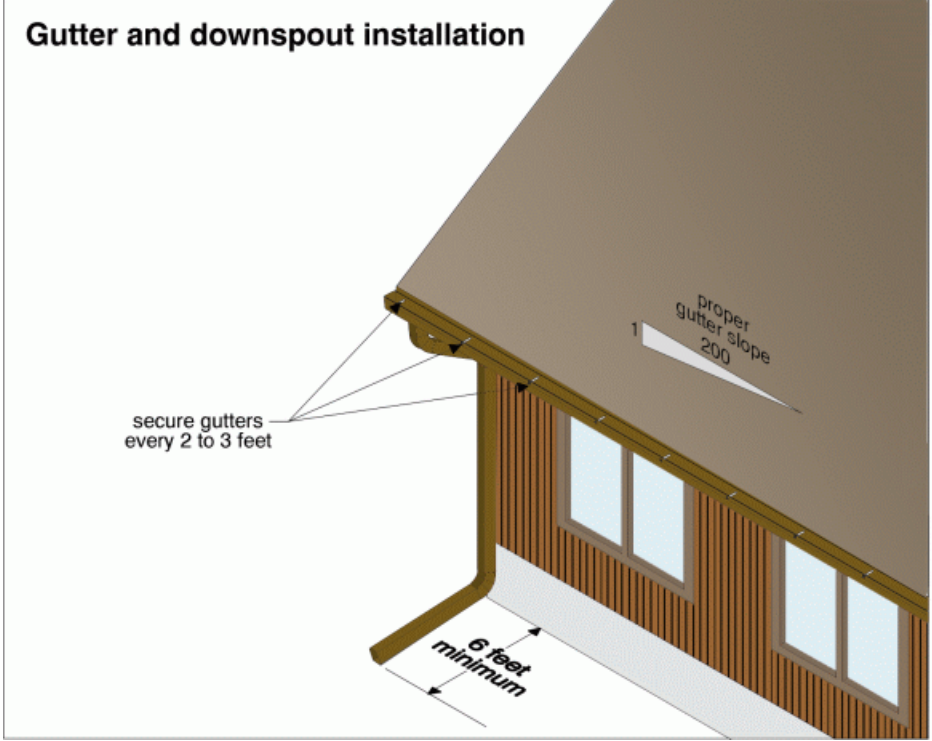
## Yankee gutter



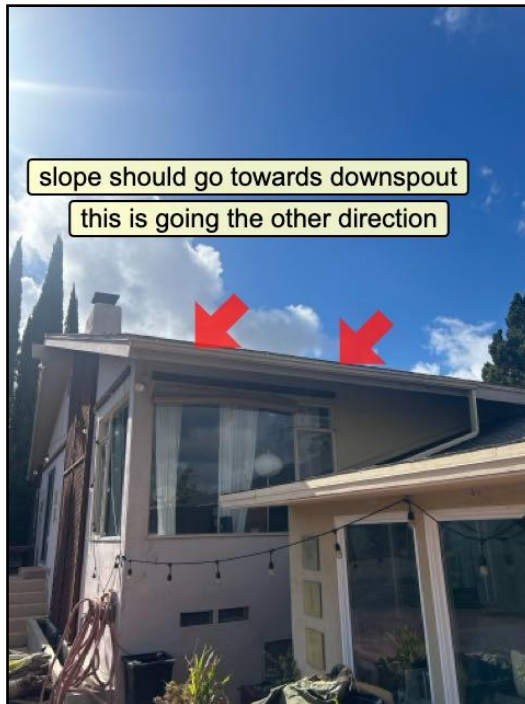
**Gutters - common reasons for leakage**



**Gutter and downspout installation**







13. Improper slope

**9. Condition:** • Loose

**Location:** Southeast First Floor Sunroom

**Task:** Repair or replace

**Time:** As soon as practical



14. Loose leaf guard along the gutter

**10. Condition:** • Missing

Add gutter system to help ponding issue around sunroom. Divert the water away from the exterior of the house.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** South First Floor Sunroom

**Task:** Correct

**Time:** As soon as possible

**ROOF DRAINAGE \ Downspouts**

**11. Condition:** • Discharge below grade

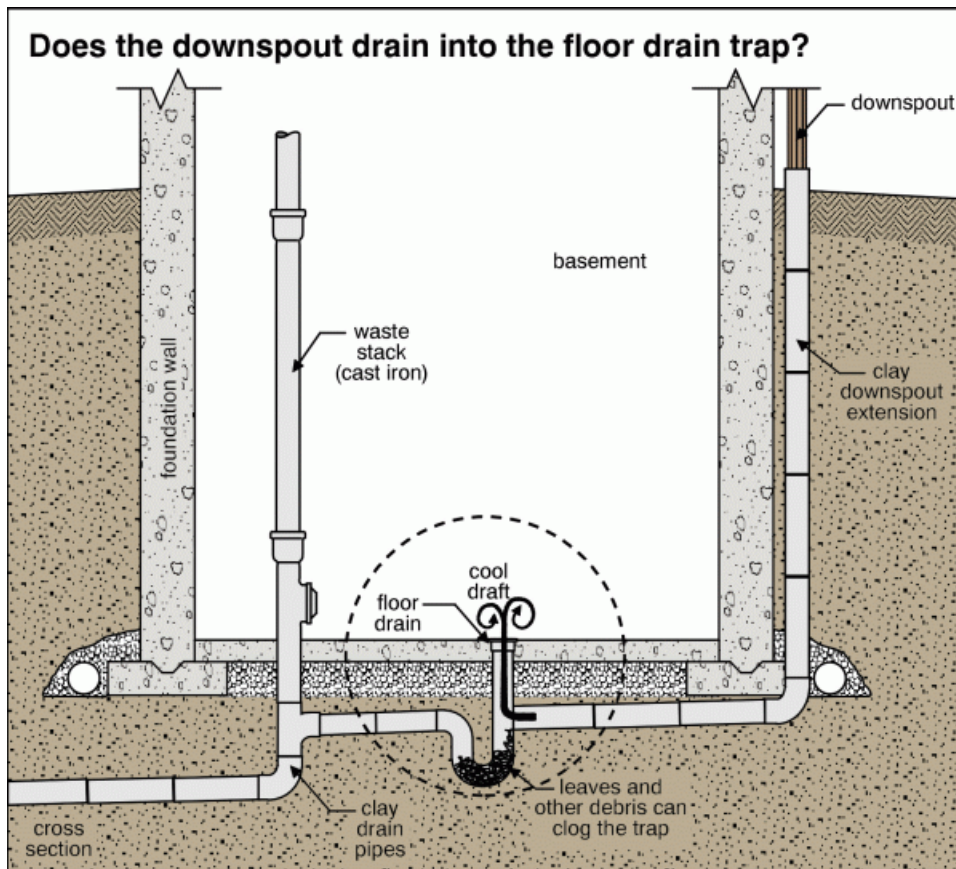
Unable to find a discharge point away from house, possible it connects to floor drain. Which isn't local building practice. Recommend to disconnect and where possible discharge above ground 6ft away from home onto grass. Otherwise recommend a trench that discharges out to grass/ soil area.

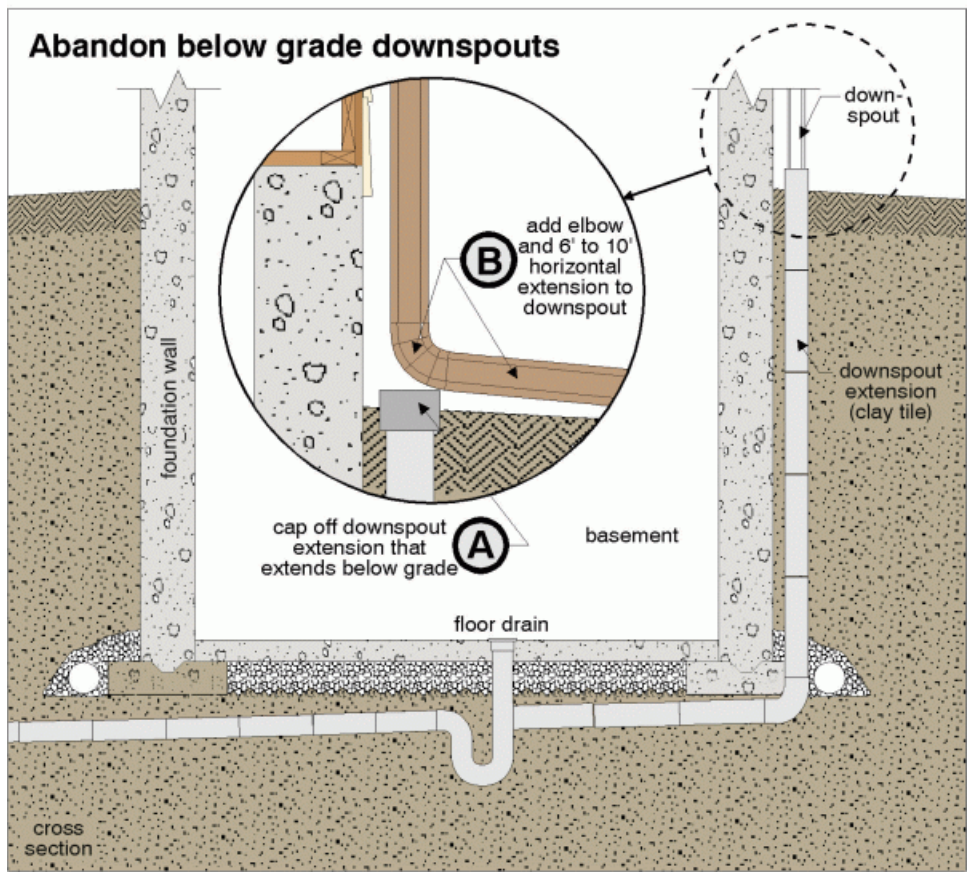
**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Various Exterior

**Task:** recommend further evaluation from plumbing contractor

**Time:** As soon as possible





**WALLS \ General notes**

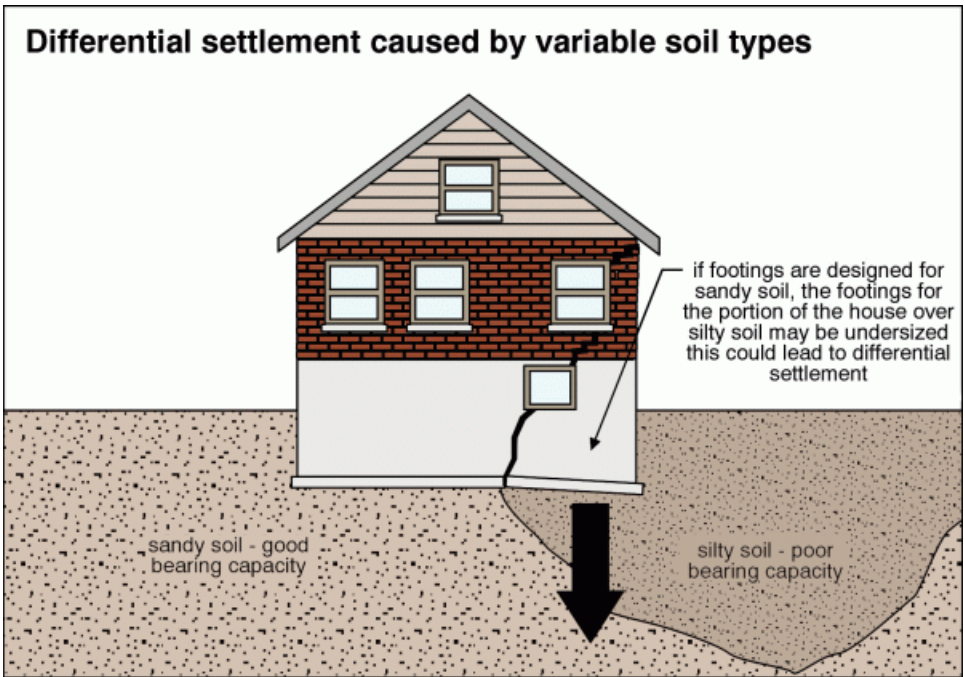
**12. Condition:** • Damage

Structural cracks at multiple points along the rear wall of the house.

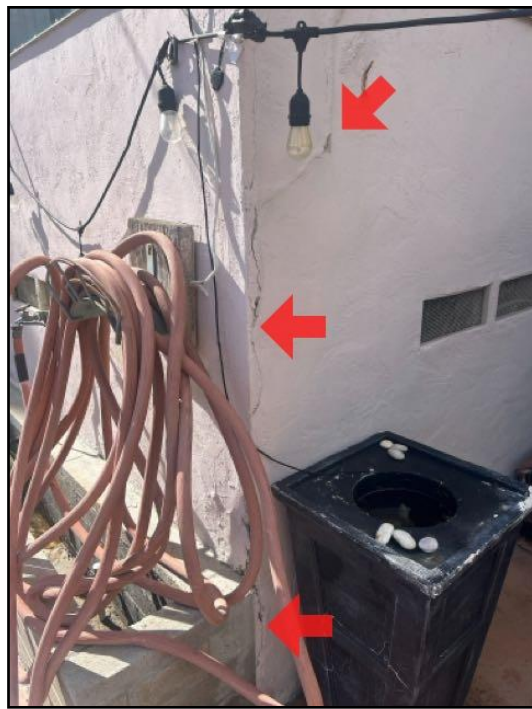
**Location:** Various Exterior Wall

**Task:** Further evaluation by Structural engineer





15. large crack



16. large crack along corner

# EXTERIOR

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17. multiple cracks



18. cracks at corner of door

## WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

**13. Condition:** • Paint - deteriorated / missing

The second picture shows signs of a lot of water flowing from the other roof. Further evaluation by a qualified roofing contractor.

**Location:** Southeast Second Floor Living Room

**Task:** Repair

**Time:** Less than 1 year

**Cost:** Minor



19. Paint has deteriorated will lead to rotten wood



20. Paint deteriorated will lead to rotten wood



## WALLS \ Masonry (brick, stone) and concrete

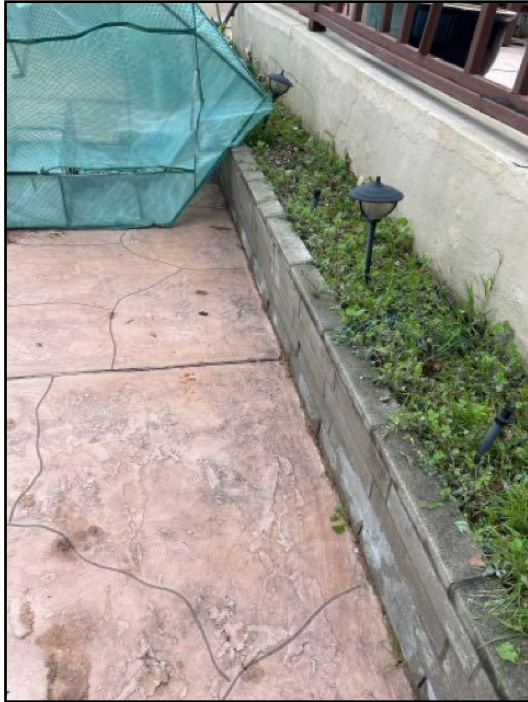
**14. Condition:** • Bowing walls

Flower bed may fall due to hydrostatic pressure and poor material used to build a retaining wall.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** South First Floor

**Task:** Monitor



21. Bowing walls



22. Top half is bowing out

## WALLS \ Vent (fan, clothes dryer, etc.)

**15. Condition:** • Clogged vent, recommend clean out service to improve venting and prevent fire.

**Implication(s):** build up of lint is very flammable, could start a fire easily.

**Location:** East First Floor Garage

**Task:** recommend HVAC contractor

**Time:** Immediately

## WINDOWS AND DOORS \ General notes

**16. Condition:** • Windows have single pane, they are not energy efficient. Losing lots of energy resulting in higher energy bills. Recommend replacing with new energy efficient windows.

**Location:** Various

**Task:** Replace

**Time:** As soon as practical

## EXTERIOR GLASS/WINDOWS \ Glass (glazing)

**17. Condition:** • Safety glass not installed

Safety hazard with potential broken glass.

**Implication(s):** Physical injury

**Location:** Hallway Bathroom



**Task:** Improve to safety glass

**Time:** As soon as possible

### DOORS \ Doors and frames

**18. Condition:** • Swings open or closed by itself

If not closed tightly the door will open by itself, if pushed or pulled lightly it will open. This is a safety concern because it gives access to your garage to anyone.

**Implication(s):** Physical injury

**Location:** Left Side Exterior Garage

**Task:** Repair

**Time:** Immediate



*23. Swings open by itself*

### LANDSCAPING \ General notes

**19. Condition:** • Trees or shrubs too close to building

Trees should be 10 ft away, all other vegetation should be 1 ft away. Therefore they should be removed and overreaching branches should be trimmed regularly to ensure no additional wear accrues.

**Implication(s):** Chance of water damage to structure, finishes and contents | Chance of pests entering building | Material deterioration

**Location:** Front

**Task:** Improve



24. Trees or shrubs too close to building

## LANDSCAPING \ Lot grading

**20. Condition:** • Improper slope or drainage

Previous rain shows water ponding around the sunroom. This could lead to exterior wall rotting and molding if not corrected. Should slope away from home.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Sunroom

**Task:** Further evaluation by landscaping contractor

**Time:** As soon as practical



25. Towards building

## LANDSCAPING \ Retaining wall

**21. Condition:** • Cracked

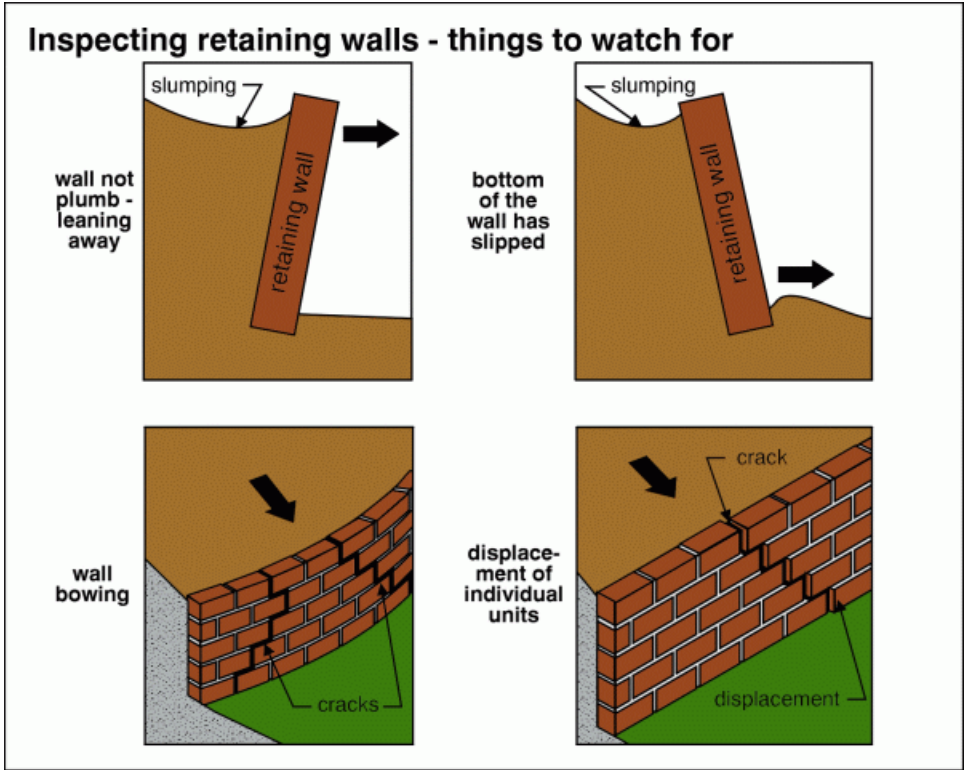
Excessive cracks at multiple location along the back.

**Implication(s):** Weakened structure | Chance of movement

**Location:** Back Patio

Task: Further evaluation by landscaping contractor

Time: Immediate



26. Crackes and slopping away



27. large crack



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28. Cracked

**22. Condition:** • Settling or shifting

Retaining wall seems to be shifting towards the canyon. Could lead to wall collapsing.

**Implication(s):** Weakened structure | Chance of movement

**Location:** Back Patio

**Task:** Further evaluation by landscaping contractor

**Time:** Immediately



29. *Shifting towards the canyon*

**GARAGE \ Vehicle door operators (openers)**

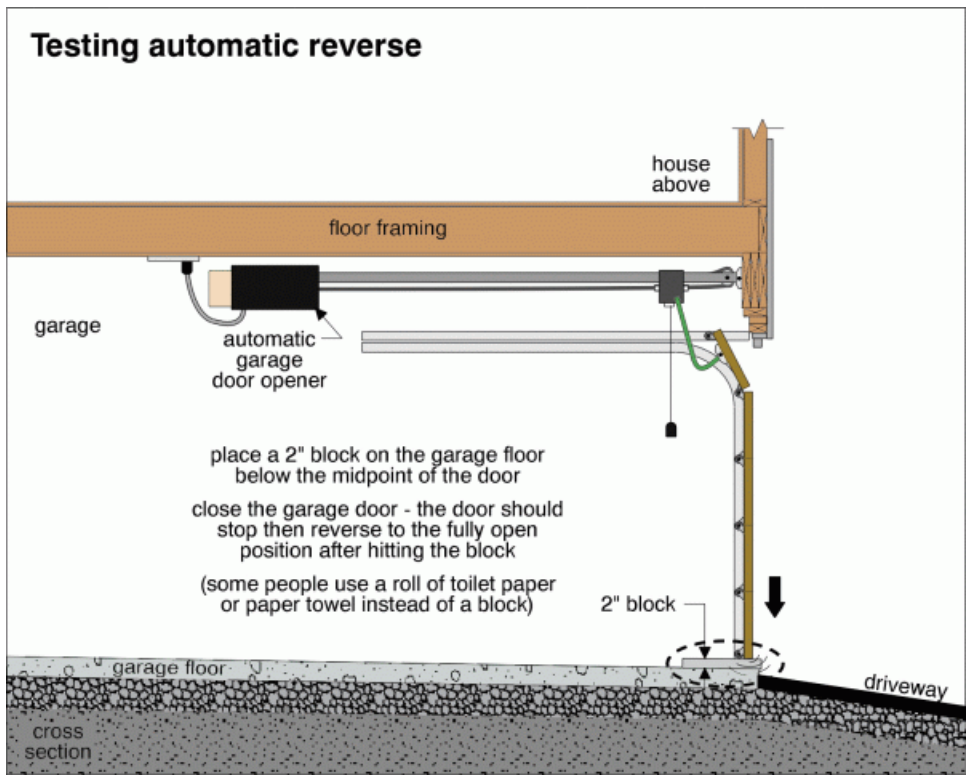
**23. Condition:** • Fails to auto reverse

Should auto reverse from light pressure against it to prevent crushing.

**Implication(s):** Physical injury

**Task:** Further evaluation by garage door specialist.

**Time:** As soon as possible



**24. Condition:** • Sensors inoperative

Sensors only work right in front of them not a few feet past or in the middle of garage. This is a safety issue of crushing.

**Implication(s):** Physical injury

**Task:** Further evaluation by garage door specialist.

**Time:** As soon as possible



## Description

**Configuration:** • Crawlspace

**Foundation material:** • Masonry block

**Floor construction:** • Joists

**Exterior wall construction:** • Wood frame

**Roof and ceiling framing:** • Rafters/ceiling joists

**Location of access to under-floor area:** • South • East • Exterior

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Carpet/furnishings • Storage

**Attic/roof space:** • No access • No access

**Crawlspace:**

• Entered but access was limited

Insulation covered the walls and under floor ceilings.



**30.** *Entered but access was limited*

• Inspected from access hatch

**Percent of foundation not visible:** • 95 %

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- ELECTRICAL**
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**Description**

**Service entrance cable and location:** • Underground copper

**Service size:** • 100 Amps (240 Volts)

**Main disconnect/service box rating:** • 200 Amps

**Main disconnect/service box type and location:** • Breakers - exterior wall

**Distribution panel type and location:** • Breakers - garage

**Distribution panel rating:** • 200 Amps

**Electrical panel manufacturers:** • Unsure, ask current homeowners.

**Number of circuits installed:** • 22

**Distribution wire (conductor) material and type:** • Copper - non-metallic sheathed

**Type and number of outlets (receptacles):** • Grounded - typical

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • GFCIs present • No AFCI

**Smoke alarms (detectors):** • Present

**Carbon monoxide (CO) alarms (detectors):** • Present

**Observations and Recommendations**

**SERVICE BOX, GROUNDING AND PANEL \ Distribution panel**

**25. Condition:** • Damaged panel or components

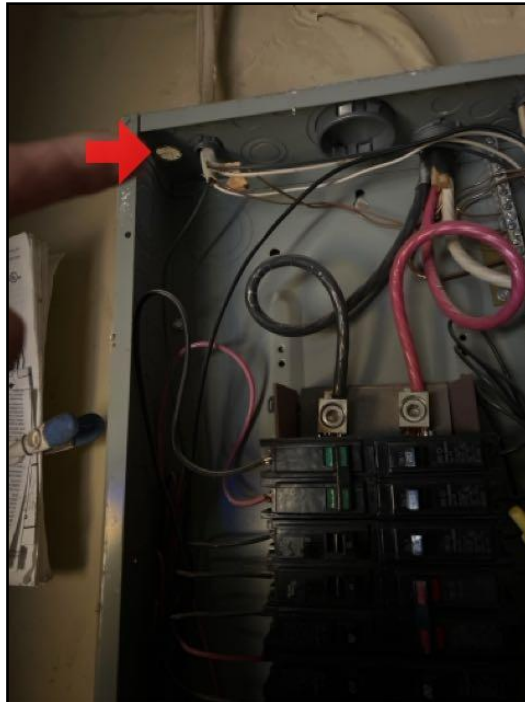
Knockout on top left of panel is left open. Possible shock or faulty electrical hazard if left unattended.

**Implication(s):** Equipment not operating properly | Electric shock | Fire hazard

**Location:** Top left of panel

**Task:** Further evaluation by qualified electrician

**Time:** As soon as possible



31. hole could allow water to enter

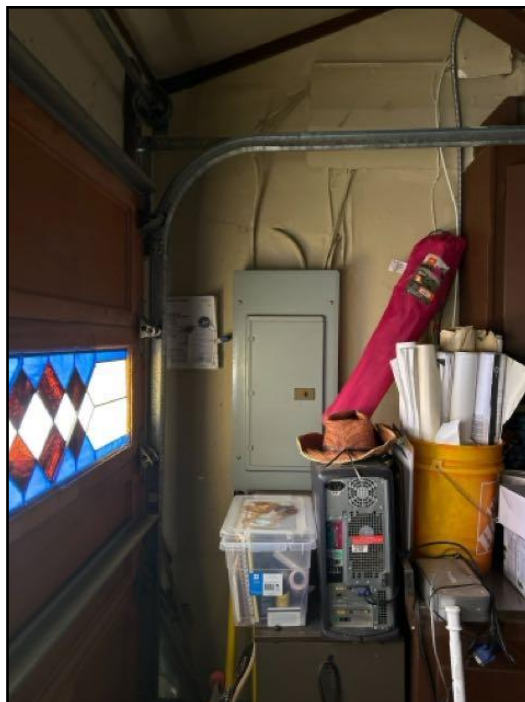
**26. Condition:** • Poor access

In case of emergency need to have quick and easy access to shut off.

**Implication(s):** Difficult to service

**Location:** Garage

**Task:** Improve



32. Breakers - garage



## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**27. Condition:** • Inoperative

Exterior flood lights. 3 of the 4 switches at the receptacle are inoperative. Further evaluation by a licensed electrician.

**Implication(s):** Equipment inoperative

**Location:** Rear Exterior Porch

**Task:** Repair

**Time:** As soon as possible



33. *operative far right switch*



34. *3 left switches are Inoperative*

# ELECTRICAL

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35. all switches turned on



36. Flood light Inoperative



37. 2 flood lights Inoperative

**28. Condition:** • Ungrounded

Outlet does have ground wire. Will not protect devices from electrical surge and also potential shock hazard.

**Implication(s):** Electric shock

**Location:** Bedroom First Floor North

**Task:** Replace



**38.** *Ungrounded outlet*

**29. Condition:** • Not suitable for outdoor (exterior) use

Exterior receptacles should have properly working covers.

**Implication(s):** Shock hazard or interruption of electrical service

**Location:** Front Rear Exterior Porch

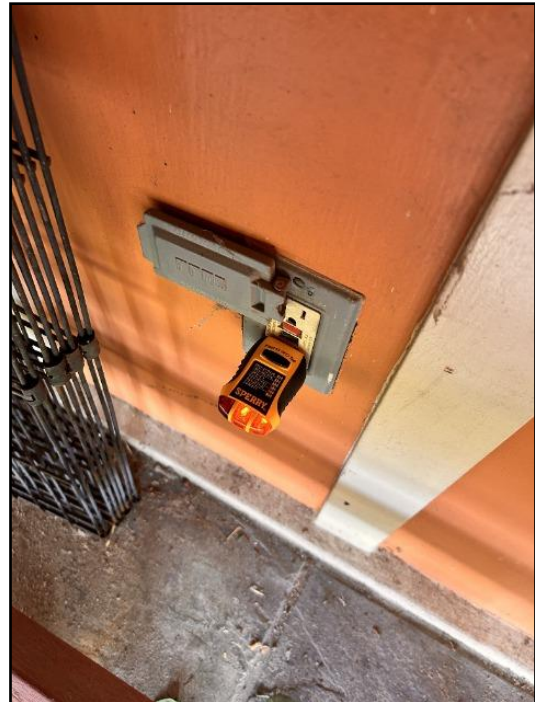
**Task:** Replace

**Time:** As soon as possible





39. Not suitable for outdoor (exterior) use



40. Not suitable for outdoor (exterior) use



41. Not suitable for outdoor (exterior) use

**30. Condition:** • GFCI/GFI needed (Ground Fault Circuit Interrupter)

Further evaluation by a licensed electrician.

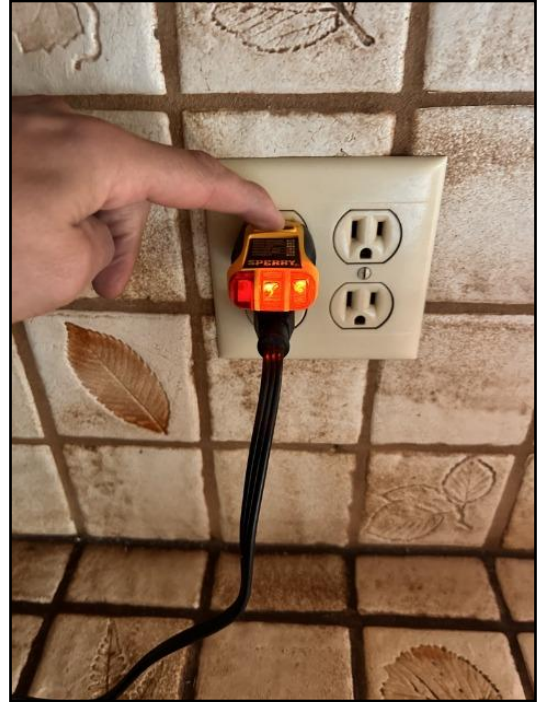
**Implication(s):** Electric shock

**Location:** Kitchen, bathrooms, garage and the exterior.

**Task:** As soon as possible



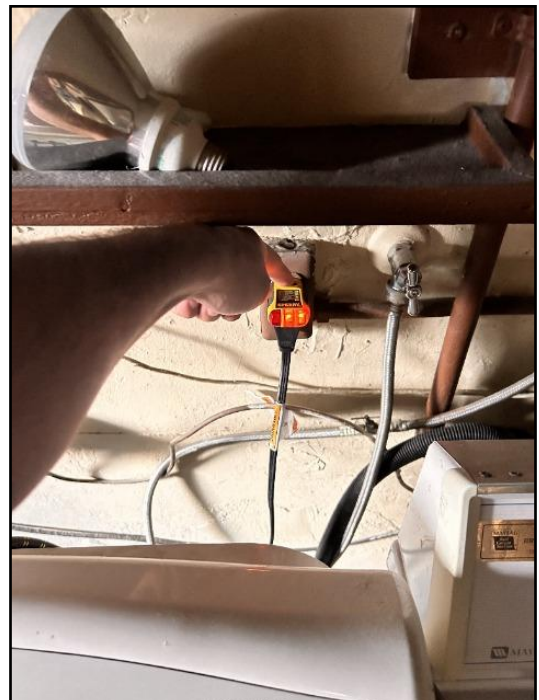
42. GFCI needed at exterior



43. GFCI in kitchen



44. GFCI needed in kitchen



45. GFCI needed behind washing machine

**31. Condition:** • AFCI needed (Arc Fault Circuit Interrupter)

Recommend to have AFCI to protect from electrical fires.



**Implication(s):** Fire hazard

**Location:** Bedroom and living space

**DISTRIBUTION SYSTEM \ Lights**

**32. Condition:** • Improper closet lighting

Safety defect. Possible electrical shock and other harm from fluorescent lights if broken.

**Implication(s):** Fire hazard

**Location:** Bedrooms

**Task:** Replace

**Time:** As soon as possible



46. Improper closet lighting



47. Improper closet lighting



## Description

**Heating system type:** • Furnace

**Fuel/energy source:** • Gas • Wood

**Furnace manufacturer:** • Ruud

**Heat distribution:** • Ducts and registers

**Approximate capacity:** • Not determined

**Efficiency:** • Mid-efficiency

**Exhaust venting method:** • Forced draft

**Combustion air source:** • Interior of building

**Approximate age:** • 20 years

**Typical life expectancy:** • Furnace (conventional or mid-efficiency) 18 to 25 years

**Main fuel shut off at:** • Meter • Exterior wall

**Air filter:** • Electronic • 14" x 20" • 1" thick

**Exhaust pipe (vent connector):** • Double wall • Type B

**Fireplace/stove:** • Gas fireplace

**Chimney/vent:** • Stucco over metal

**Chimney liner:** • Metal

**Mechanical ventilation system for building:** • Bathroom exhaust fan

**Location of the thermostat for the heating system:** • Living Room

## Observations and Recommendations

### FURNACE \ Air filter

**33. Condition:** • Dirty

Very dirty, should be cleaned monthly to ensure proper performance of furnace.

**Implication(s):** Equipment ineffective | Increased heating costs | Reduced comfort | Increased maintenance costs

**Task:** Correct

**Time:** Immediately

### FURNACE \ General notes

**34. Condition:** • Service Furnace

Have your furnace serviced once a year to ensure it works properly.

**Task:** Service

**Time:** As soon as possible

### FURNACE \ Life expectancy

**35. Condition:** • Near end of life expectancy

Consider setting aside money for the eventual replacement of a new furnace.

**Implication(s):** Equipment failure | No heat for building

## FURNACE \ Ducts, registers and grilles

**36. Condition:** • Insulation missing, damaged

Insulation around the supply duct in the furnace closet appears to be discolored because it is too close to the vent. This is a potential fire hazard.

**Location:** Hallway furnace closet.

**Task:** Further evaluation by HVAC contractor

## GAS FURNACE \ Gas burners

**37. Condition:** • Poor flame color or pattern

Flame should be all blue for proper combustion.

**Implication(s):** Equipment not operating properly | Increased heating costs | Reduced comfort

**Task:** Further evaluation by licensed HVAC contractor

**Time:** As soon as possible



48. Poor flame color or pattern

## CHIMNEY AND VENT \ Inspect/sweep chimney

**38. Condition:** • Inspect (and/sweep if needed) before using

**Implication(s):** Fire hazard

**Task:** Further evaluation by qualified chimney sweep

# COOLING & HEAT PUMP

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## Description

**Air conditioning type:** • None present

**Heat pump type:** • None present

**Location of the thermostat for the cooling system:** • Living Room



## Description

**Attic/roof insulation material:** • Not determined

**Attic/roof insulation amount/value:** • None found

**Attic/roof air/vapor barrier:** • Plastic

**Attic/roof ventilation:** • Roof and soffit vents • Gable vent

**Wall insulation material:** • Not visible

**Wall insulation amount/value:** • Not visible

**Wall air/vapor barrier:** • Not determined

**Floor above basement/crawlspace insulation material:** • Not visible

**Floor above basement/crawlspace insulation amount/value:** • Not determined

**Floor above basement/crawlspace air/vapor barrier:** • Not determined

**Crawlspace ventilation:** • Wall Vents

## Observations and Recommendations

### ATTIC/ROOF \ Roof vents

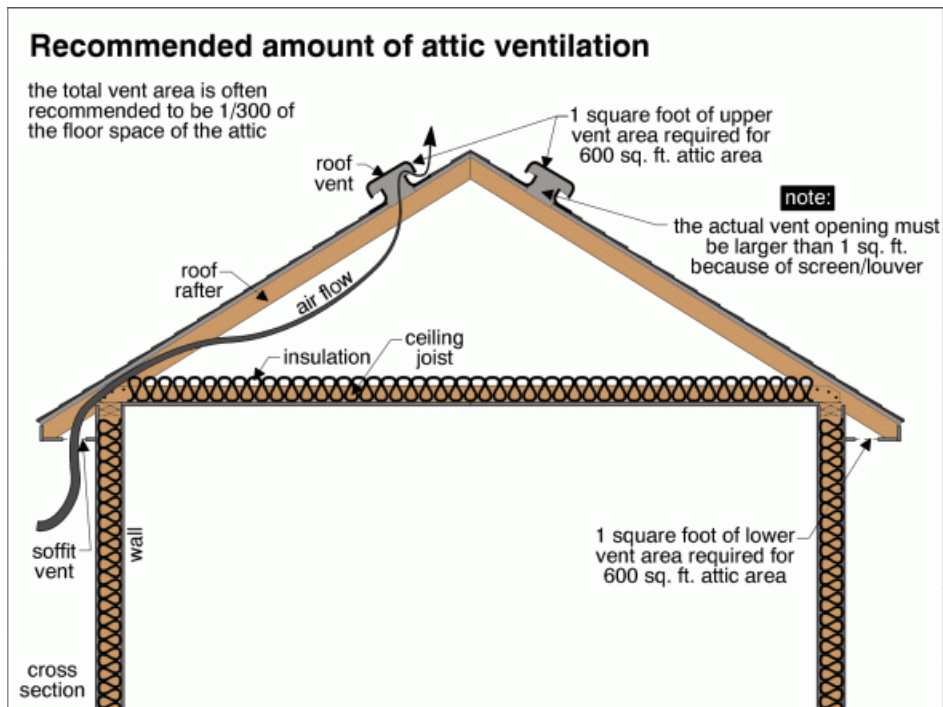
**39. Condition:** • Inadequate

Not enough ventilation at both soffit and on roof. Recommend using ridge vents.

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Task:** Further evaluation by a qualified Roofer

**Time:** As soon as possible



# INSULATION AND VENTILATION

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## Inspection Methods and Limitations

**Inspection limited/prevented by lack of access to:** • Attic

**Attic inspection performed:** • From access hatch • From access hatch

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## Description

**Water supply source (based on observed evidence):** • Public

**Service piping into building:** • Copper

**Supply piping in building:** • Copper

**Main water shut off valve at the:** • North • Exterior

**Water flow and pressure:** • Typical for neighborhood

**Water heater type:** • Tank

**Water heater location:** • Garage

**Water heater fuel/energy source:** • Gas

**Water heater exhaust venting method:** • Natural draft

**Water heater manufacturer:** • Ruud

**Water heater tank capacity:** • 50 gallons

**Water heater approximate age:** • 9 years

**Water heater typical life expectancy:** • 8 to 12 years

**Hot water temperature (Generally accepted safe temp. is 120° F):** • 130° F

**Waste disposal system:** • Public

**Waste and vent piping in building:** • Plastic

**Sewer cleanout location:** • Side yard

**Pumps:** • Sump pump

**Floor drain location:** • None found

**Gas meter location:** • Exterior left side

**Gas piping material:** • Steel

**Main gas shut off valve location:** • Left • Exterior • Gas meter

**Location of fuel storage tank/system:** • East • Exterior

**Exterior hose bibb (outdoor faucet):** • Present

## Observations and Recommendations

### FIXTURES AND FAUCETS \ Bathtub

**40. Condition:** • Caulking loose, missing or deteriorated

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Hallway Bathroom

**Task:** Repair or replace

**Time:** As soon as possible



# PLUMBING

123 Example Dr, Ottawa, ON January 1, 2024

Report No. 1002, v.5

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- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING**
- INTERIOR
- SITE INFO



49. Caulking deteriorated



50. Caulking deteriorated



51. Caulking deteriorated



52. Caulking deteriorated

## Description

**Major floor finishes:** • Laminate • Tile

**Major wall and ceiling finishes:** • Plaster/drywall

**Windows:** • Fixed • Single/double hung • Casement • Wood • Metal

**Glazing:** • Single

**Exterior doors - type/material:** • Hinged • Sliding glass • Solid wood • Garage door - wood

**Doors:** • Inspected

**Oven type:** • Conventional

**Oven fuel:** • Electricity

**Range fuel:** • Gas

**Appliances:**

• Refrigerator

• Range hood

Not operational

• Dishwasher

• Waste disposal

• Central vacuum

Not operational

• Door bell

• Freezer

**Laundry facilities:** • Washer • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet

**Kitchen ventilation:** • Exhaust fan discharges to the exterior

**Bathroom ventilation:** • Exhaust fan

**Laundry room ventilation:** • Clothes dryer vented to exterior

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Observations and Recommendations

**WALLS \ Plaster or drywall**

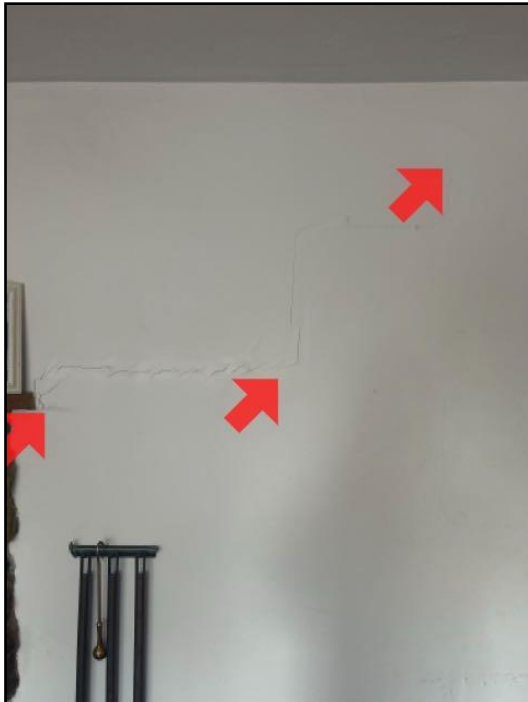
**41. Condition:** • Cracked

Could be related to exterior backyard cracks.

**Location:** Living Room

**Task:** Recommend further evaluation by structural engineer

**Time:** Immediately



53. large staggering crack



54. Second staggered cracked



55. Both Cracks

**DOORS \ Hardware**

**42. Condition:** • Ineffective

Bifold linen closet doors fall off track and are very worn

**Implication(s):** Equipment ineffective



# INTERIOR

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**Location:** Hall

**Task:** Repair



56. Ineffective



57. Ineffective

## STAIRS \ Height

**43. Condition:** • Headroom less than ideal

Safety concerns for people taller than 6ft.

**Implication(s):** Physical injury

**Location:** Living room stairs

**Task:** Recommend further evaluation by a framing contractor.

**Time:** As soon as possible



58. Headroom less than ideal

## **STAIRS \ Handrails and guards**

**44. Condition:** • Missing

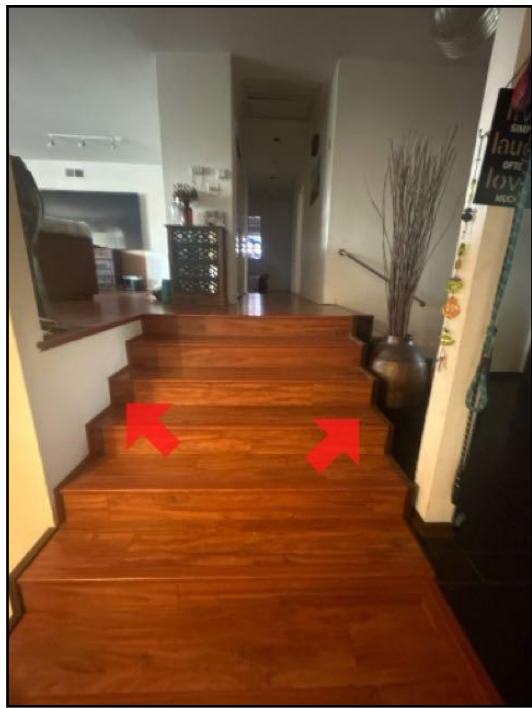
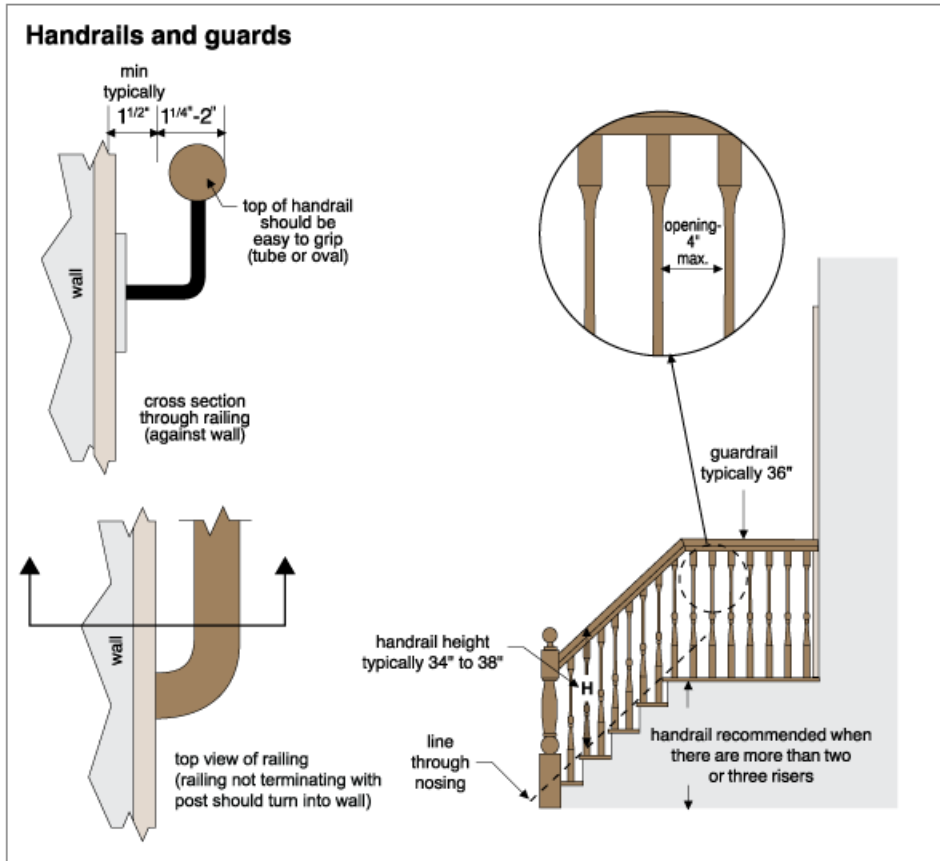
Tripping and falling hazard with nothing to grip. Recommend installing railing on both sides of each stairs.

**Implication(s):** Fall hazard

**Location:** Living Room

**Task:** Further evaluation by railing contractor

**Time:** As soon as possible



59. wide stairs should have rails on both sides



60. Railing needed on left for falling hazard



## **APPLIANCES \ Range**

**45. Condition:** • Gas connector passes through wall, floor or ceiling

Needs to be solid piping through walls and cabinets to prevent pipes leaking.

**Implication(s):** Physical injury

**Task:** Further evaluation by heating contractor



**61.** Gas connector passes through cabinet walls

**46. Condition:** • Gas shut off valve missing or damaged

No shut off at appliance. This is a fire hazard.

**Implication(s):** Fire or explosion

**Task:** Further evaluation by heating contractor.

**Time:** As soon as possible.



62. Gas shut off valve is not visible

**APPLIANCES \ Dishwasher**

**47. Condition:** • Backflow prevention high loop missing

**Implication(s):** Back-flow of water into the dishwasher, possibly contaminating dishes

**Location:** Kitchen

**Task:** Improve

**Time:** As soon as possible

**APPLIANCES \ Central vacuum**

**48. Condition:** • Inoperative

**Implication(s):** Equipment inoperative

**Inspection Methods and Limitations**

**Inspection limited/prevented by:** • Carpet • Storage/furnishings

# SITE INFO

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## Description

**Weather:** • Partly cloudy • Light rain • There was rain the day before the inspection. • There was rain the day before the inspection. • There was rain on the day of the inspection. • Light winds

**Approximate temperature:** • 64°

**Attendees:** • None

**Access to home provided by:** • Lockbox

**Occupancy:** • There was no one home during the inspection. • The home was furnished during the inspection.

**Utilities:** • All utilities were on during the inspection.

**Approximate inspection Start time:** • The inspection started at 11:00 a.m.

**Approximate inspection End time:** • The inspection ended at 2:00 p.m.

**Approximate age of home:** • More than 50 years

**Approximate size of home:** • 1500 ft.<sup>2</sup>

**Building type:** • Detached home • Bungalow • Split-level

**Number of dwelling units:** • Single-family

**Number of stories:** • 1 ½

**Number of rooms:** • 8

**Number of bedrooms:** • 3

**Number of bathrooms:** • 2

**Number of kitchens:** • 1

**Below grade area:** • Crawlspace

**Garage, carport and outbuildings:** • Attached two-car garage • Tool shed

**Area:** • Suburb

**Street type:** • Residential

**Street surface:** • Paved

**END OF REPORT**